



CITY OF GLENDALE  
 DEVELOPMENT SERVICES DEPARTMENT  
 5754 W. GLENN DR.  
 GLENDALE, AZ 85301  
 623.930.2800  
 www.GlendaleAZ.com

# PERMIT/PLAN REVIEW APPLICATION

## SINGLE FAMILY RESIDENTIAL

PROJECT NAME:		PROJECT ADDRESS (STREET, CITY, STATE, ZIP CODE):	
		PARCEL NUMBER:	ZONING DISTRICT:
PROJECT DESCRIPTION/SCOPE OF WORK:			
CONSTRUCTION VALUATION*:		CONSTRUCTION TYPE:	OCCUPANCY TYPE:
SUBDIVISION:			
UTILITY COMPANY: <input type="checkbox"/> APS <input type="checkbox"/> SRP <input type="checkbox"/> SWG		CONSTRUCTION AREA (SF)**:	

APPLICANT NAME/COMPANY NAME/LEGAL AGENT (If Applicable):	
MAILING ADDRESS (STREET, CITY, STATE, ZIP CODE):	
PHONE NUMBER:	EMAIL ADDRESS:

PROPERTY OWNER NAME:	
MAILING ADDRESS (STREET, CITY, STATE, ZIP CODE):	
PHONE NUMBER:	EMAIL ADDRESS:

GENERAL CONTRACTOR:		
MAILING ADDRESS (STREET, SUITE, CITY, STATE, ZIP CODE):		
PHONE NUMBER:	EMAIL ADDRESS:	
AZ ROC NUMBER:	LICENSE CLASSIFICATION:	COG SALES TAX LICENSE No.:

I (the undersigned) understand and agree that the issuance of the permit for which I am applying does not relieve me of the responsibility that this work will be done in conformity with the laws of the City of Glendale, Maricopa County and the State of Arizona. I further agree that the City of Glendale Development Services Department has the authority to enforce adopted building and fire codes and regulations not indicated on the construction documents.

SIGNATURE***:	DATE:	FEE:
---------------	-------	------

- NOTES:
- \* Construction Valuation shall include cost of material and labor for proposed work that is included in this application.
  - \*\* Provide area included for construction that is proposed in this application.
  - \*\*\* All applications will require a signature from the applicant prior to submittal acceptance (Digital Signature is acceptable)

STAFF USE ONLY	
COG PROJECT NUMBER:	COG PERMIT NUMBER:
PLAN REVIEW FEES:	PERMIT FEES:



CITY OF GLENDALE  
 DEVELOPMENT SERVICES DEPARTMENT  
 5754 W. GLENN DR.  
 GLENDALE, AZ 85301  
 623.930.2800  
 www.GlendaleAZ.com

**OWNER/BUILDER ADDENDUM FORM**  
 RESIDENTIAL PROJECTS ONLY

DATE:	COG PERMIT NUMBER:
PROJECT NAME:	PROJECT ADDRESS (STREET, CITY, STATE, ZIP CODE):

The undersigned applicant asserts that she or he is exempt from the original contractor licensing requirement of Arizona Revised Statutes Titel 32, Chapter 10, on the basis of:

- ARS 32-1121.A.5 The applicant owns the property and shall occupy the property, and does not intend the property to be for sale or rent, and shall have the work performed by the applicant alone, or by the applicant with employees of the applicant, and/or performed by duly licensed contractor(s) all of whom are identified below or on the attached.
- ARS 32-1121.A.6 The applicant owns the property and shall have the work performed only by duly licensed contractor(s) all of whom are identified below or on the attached.

CONTRACTOR/COMPANY NAME:	AZ ROC NUMBER:	LICENSE CLASSIFICATION:

- ARS 32-1121.A.7 The applicant is registered architect or engineer, or employee of registered architect or engineer engaged in professional practice, not as a contractor.

The undersigned swears and affirms that the information herein is true and accurate, and acknowledges that the filing of an application containing false or incorrect information with the intent to avoid licensing or tax requirements of the State of Arizona is "unsworn falsification", a criminal misdemeanor.

PRINTED NAME OF THE OWNER:	SIGNATURE OF THE OWNER:	DATE:
----------------------------	-------------------------	-------

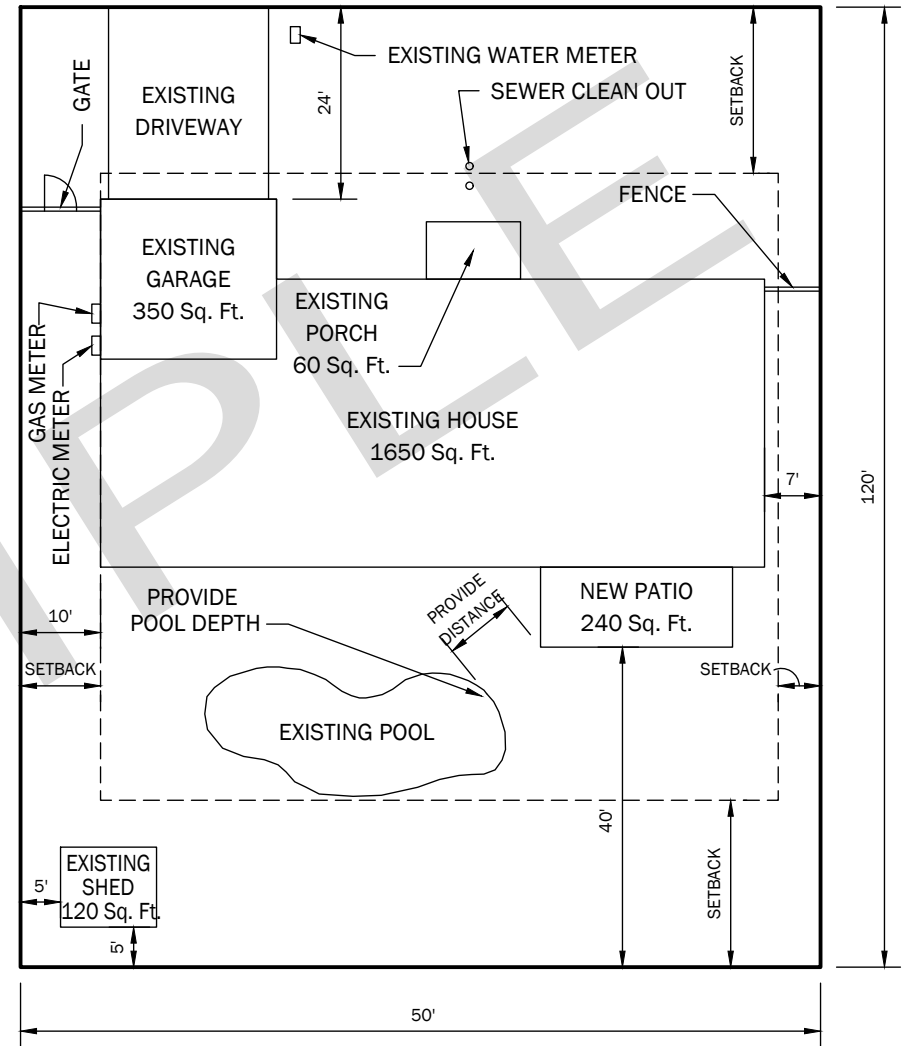
CITY OF GLENDALE ADOPTED CODES (WITH AMENDMENTS):  
 2018 IBC, 2018 IRC, 2018 IECC, 2018 IPC, 2018 IFGC,  
 2017 NEC, AND 2018 IFC

PROJECT NAME:	MARLEY RESIDENCE - <b>PATIO ADDITION</b>
PROJECT ADDRESS:	5555 W. GLENDALE AVE. GLENDALE, AZ 85301
PARCEL NUMBER:	123-45-678
ZONING DISTRICT:	R1-6

PROPERTY COVERAGE CALCULATIONS (Sq. Ft.)	
EXISTING HOUSE (1ST FLOOR):	1650
EXISTING GARAGE:	350
EXISTING SHED:	120
EXISTING FRONT PORCH:	60
NEW PATIO:	240
TOTAL AREA:	2420
LOT SIZE:	50' x 120' = 6000
TOTAL LOT COVERAGE:	$2420/6000 = 0.40$ OR 40%

\* PROPERTY INFORMATION AVAILABLE ON THE MARICOPA COUNTY ASSESSOR'S OFFICE WEB PAGE

W. GLENDALE AVE.



SHEET:  
**A1**  
 SAMPLE

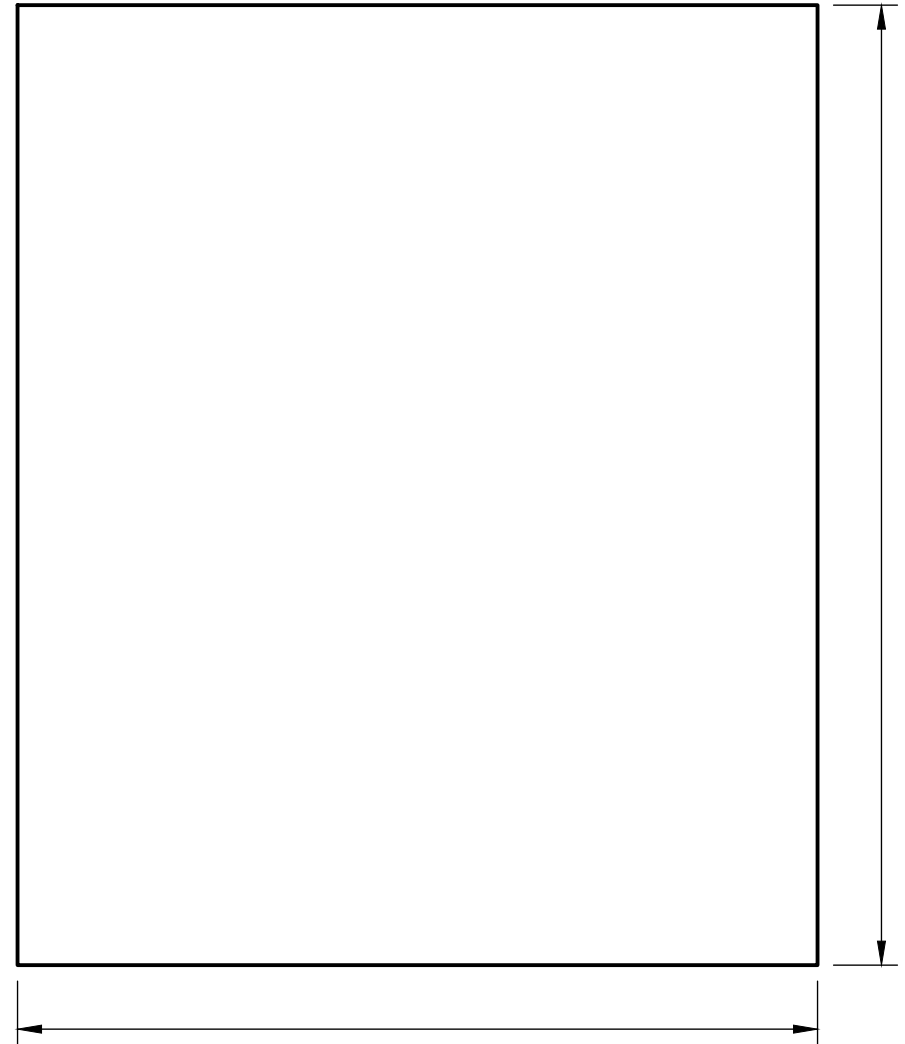
CITY OF GLENDALE ADOPTED CODES (WITH AMENDMENTS):  
 2018 IBC, 2018 IRC, 2018 IECC, 2018 IPC, 2018 IFGC,  
 2017 NEC, AND 2018 IFC



PROJECT NAME:	
PROJECT ADDRESS:	
PARCEL NUMBER:	
ZONING DISTRICT:	

PROPERTY COVERAGE CALCULATIONS (Sq. Ft.)	
EXISTING HOUSE (1ST FLOOR):	
EXISTING GARAGE:	
EXISTING SHED:	
EXISTING FRONT PORCH:	
NEW PATIO:	
TOTAL AREA:	
LOT SIZE:	
TOTAL LOT COVERAGE:	

\* PROPERTY INFORMATION AVAILABLE ON THE MARICOPA COUNTY ASSESSOR'S OFFICE WEB PAGE



SHEET:  
**A1**

SEE DETAIL ON SHEET A6

SEE DETAIL ON SHEET A7

OPTIONAL/NOT REQUIRED:  
CEILING SHEATHING SHALL BE  
1/2" MIN. GYPSUM BOARD OR T1-11  
EXTERIOR SIDING.

ROOF COVERING:  
 ROLL ROOFING OVER 15# FELT VAPOR BARRIER  
 ASPHALT SHINGLES OVER 15# FELT VAPOR BARRIER  
 CLAY/CONCRETE TILES OVER 30# FELT VAPOR BARRIER  
 OTHER: \_\_\_\_\_

IDENTIFY EXISTING CONSTRUCTION:  
 WOOD FRAMED WALL  
 MASONRY BLOCK WALL  
 OTHER: \_\_\_\_\_

ROOF FRAMING MEMBERS:  
[ ] RAFTERS AT [ ] O.C.

ROOF BEAM: [ ]

[ ] POSTS AT [ ] O.C.

3-1/2" MIN. CONCRETE SLAB OVER  
3" MIN. SAND OR COMPACTED FILL.

SEE DETAIL ON SHEET A5

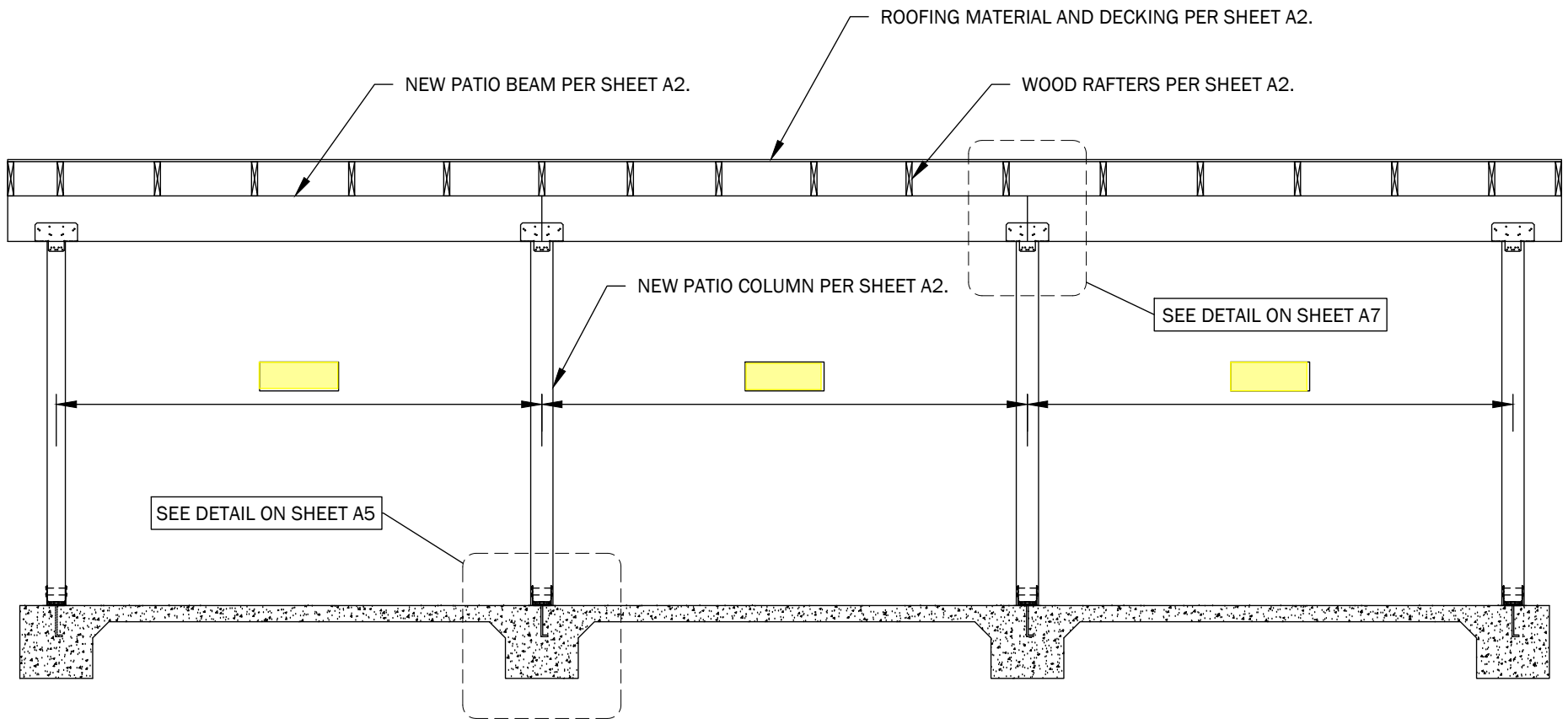
SLOPE TO DRAIN (PER 2018 IRC, R401.3)

7'-0" MIN. PER 2012 IRC, SECTION R305.1



- NOTES:
- PLEASE FILL ALL SPACES DESIGNATED WITH [ ] TO DESCRIBE PROPOSED STRUCTURE.
  - SEE SHEET A8 FOR MINIMUM RAFTER/BEM SIZE AND MINIMUM ROOF SLOPES FOR ROOF COVERINGS.
  - SEE SHEET A3 FOR PATIO ELEVATION AND SHEET A4 FOR ROOF FRAMING PLAN.
  - PLANNING DEPARTMENT NOTE: MATCH EXISTING RESIDENCE COLOR AND MATERIALS.

SHEET:  
**A2**



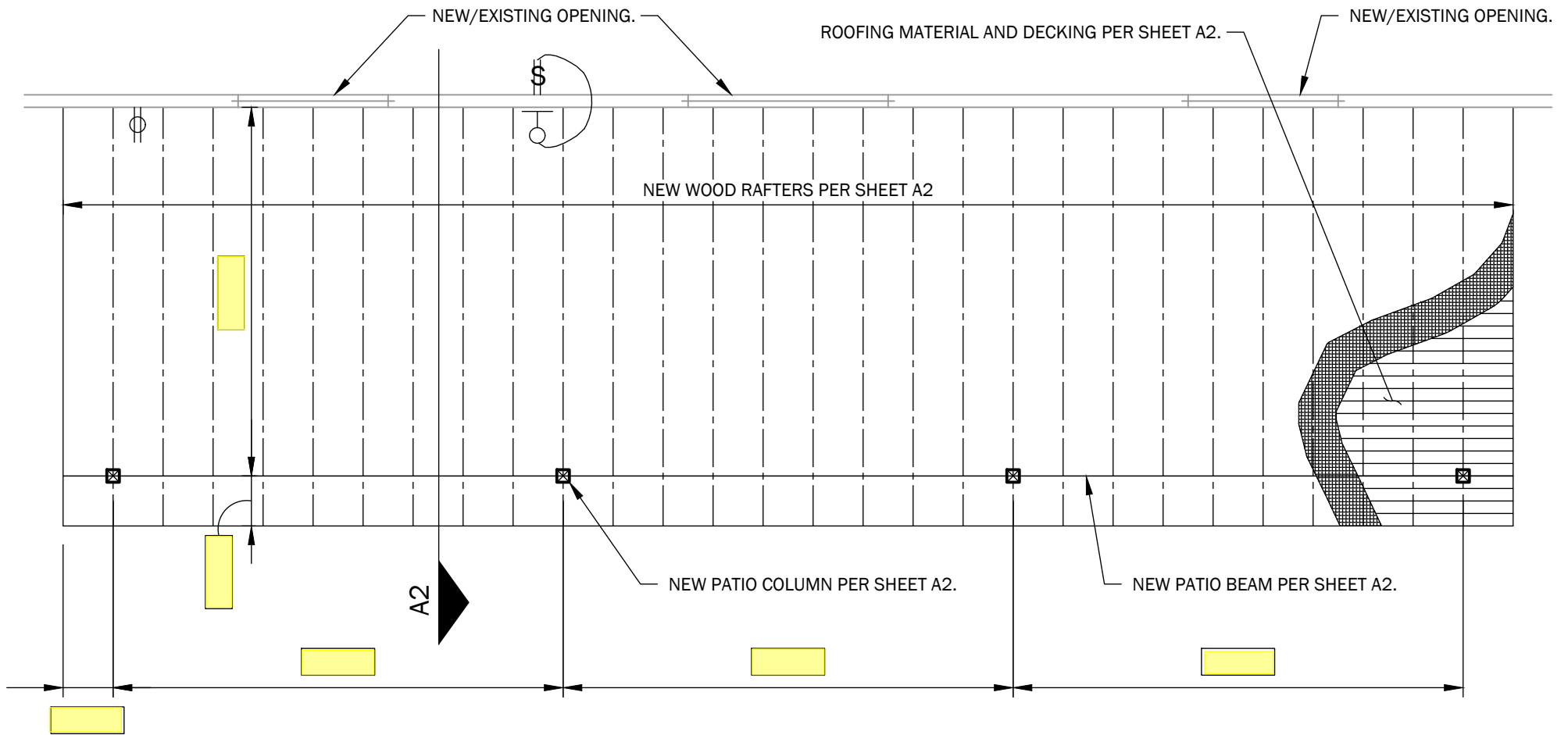
PATIO ELEVATION



NOTES:

1. PLEASE FILL ALL SPACES DESIGNATED WITH  TO DESCRIBE PROPOSED STRUCTURE.
2. SEE SHEET A2 FOR MORE INFORMATION.
3. PLANNING DEPARTMENT NOTE: MATCH EXISTING RESIDENCE COLOR AND MATERIALS.

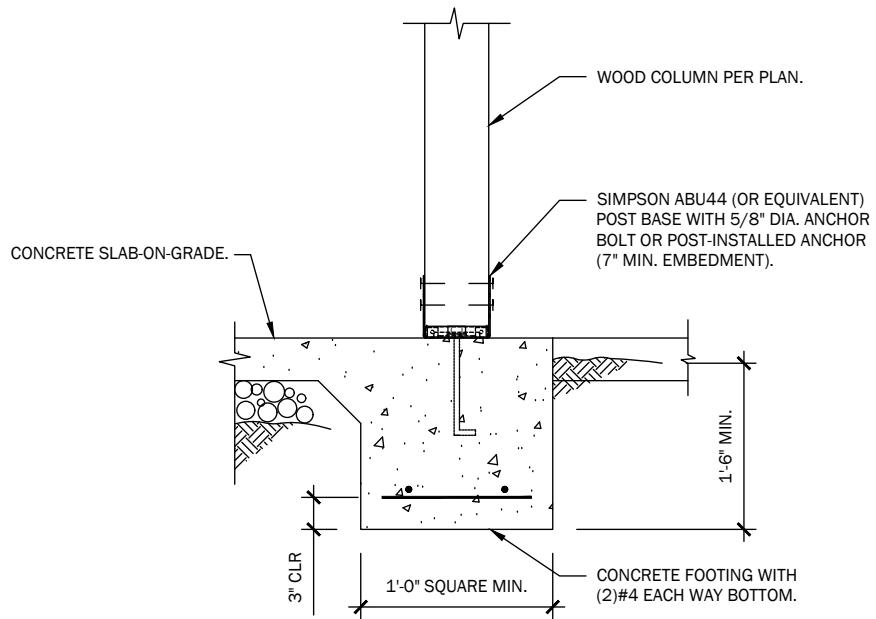
SHEET:  
**A3**



NOTES:

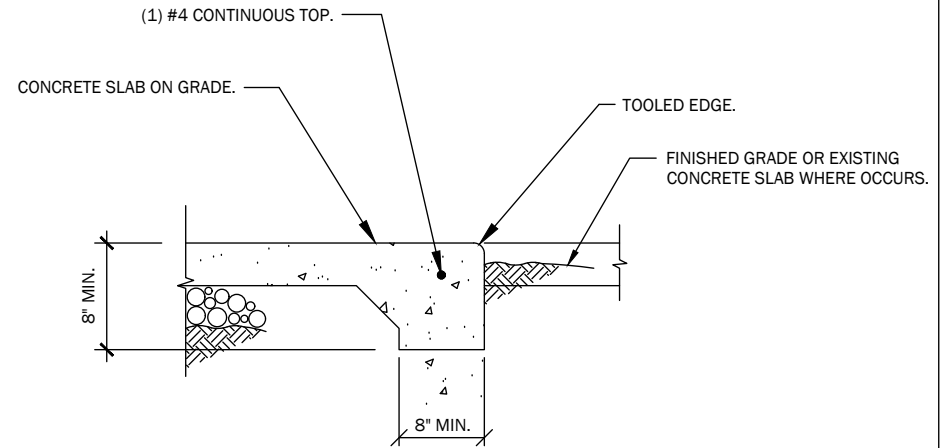
1. PLEASE FILL ALL SPACES DESIGNATED WITH  TO DESCRIBE PROPOSED STRUCTURE.
2. PROVIDE SWITCH CONTROLLED LIGHT AT EACH EXTERIOR DOOR TO GRADE PER E3903.3 (NEC 210.70CA).
3. PROVIDE CODE APPROVED OUTLET BOXES FOR CEILING FANS PER NEC 422.18.
4. PROVIDE/IDENTIFY ALL NEW DOOR/WINDOW LOCATIONS AND SPECIFY HEADER SIZE.
5. PROVIDE/IDENTIFY ALL NEW ELECTRICAL OUTLET LOCATIONS.

SHEET:  
**A4**



1

WOOD COLUMN AT CONCRETE FOOTING



2

CONCRETE TURNDOWN AT PATIO EDGE

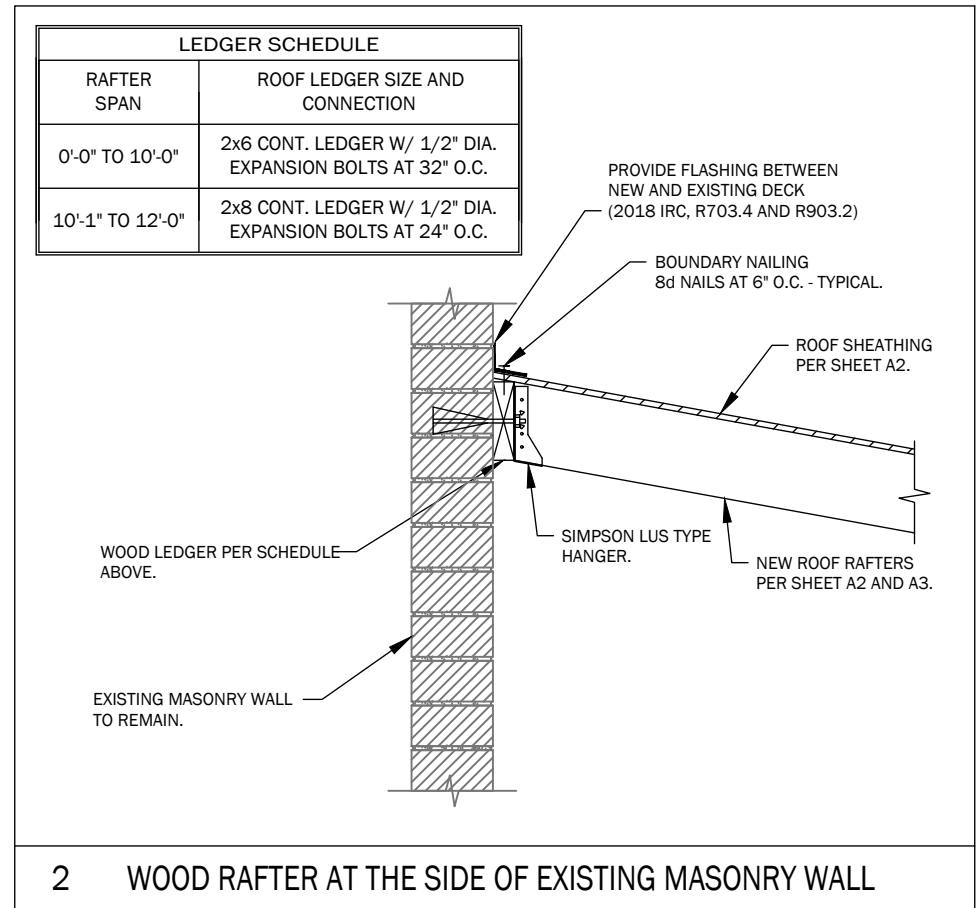
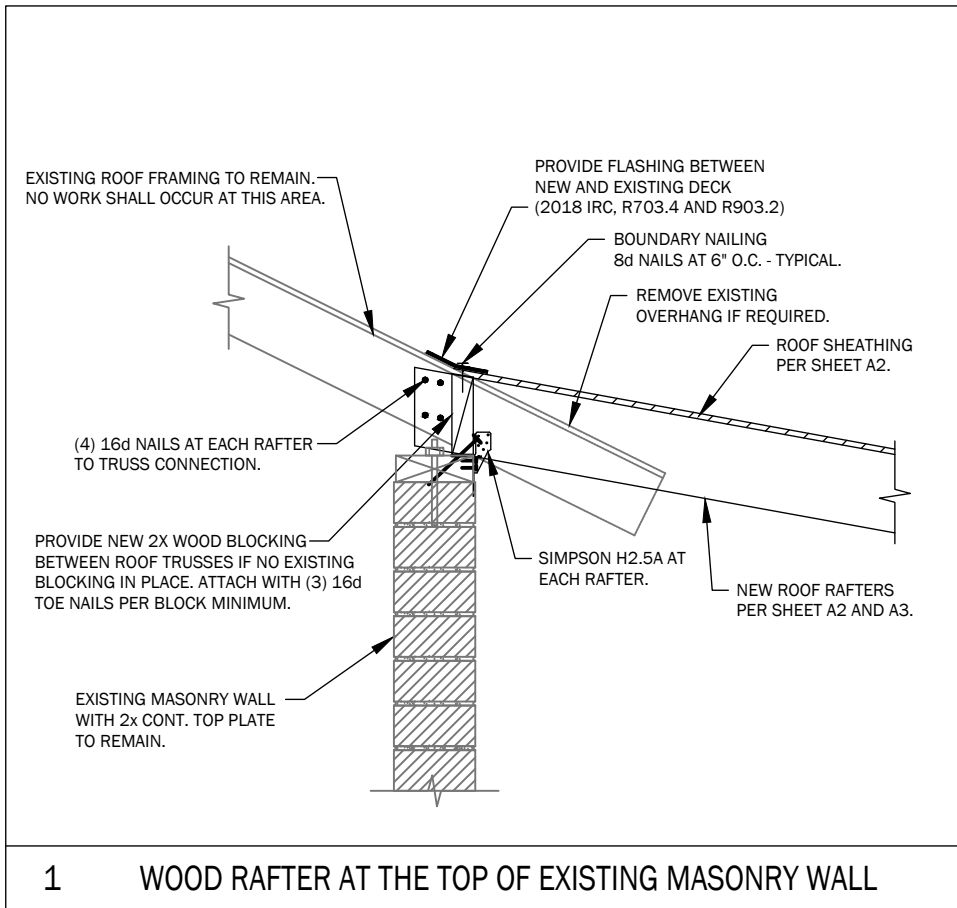


NOTE:

1. REFERENCED METAL CONNECTORS MAY BE REPLACED WITH ANY EQUIVALENT ALTERNATIVE.

SHEET:  
A5





CONSTRUCTION DETAIL TO BE USED

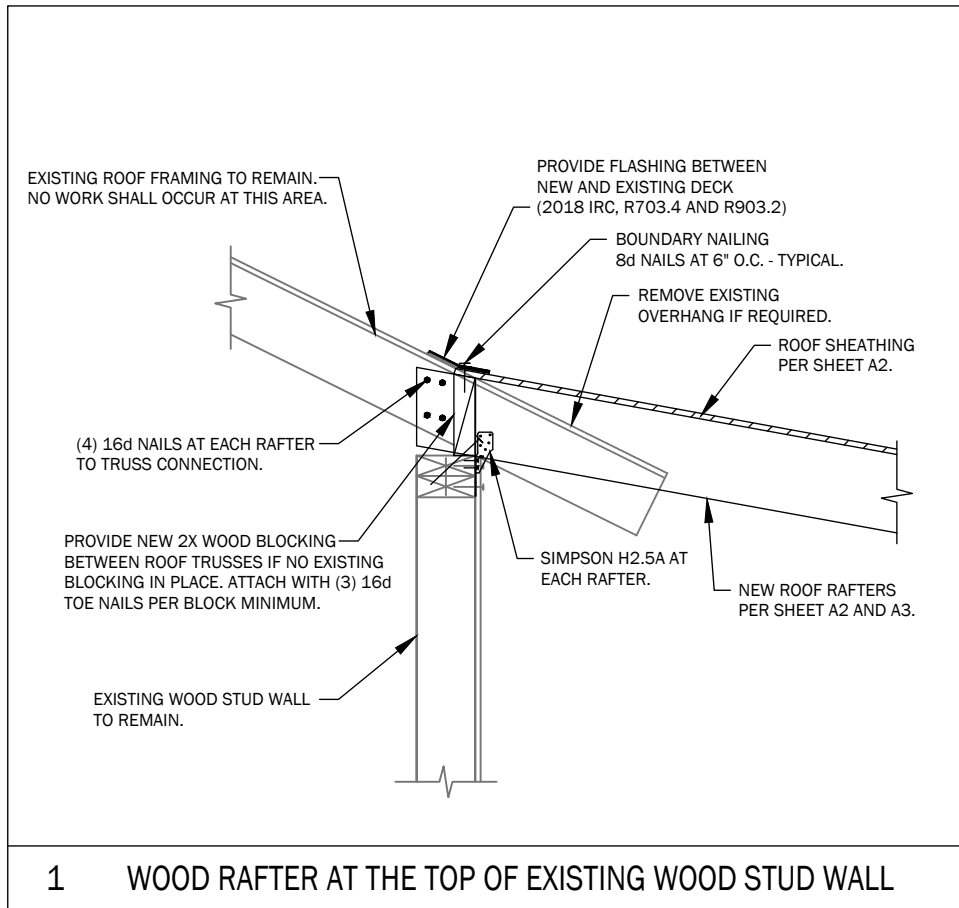
CONSTRUCTION DETAIL TO BE USED



NOTES:

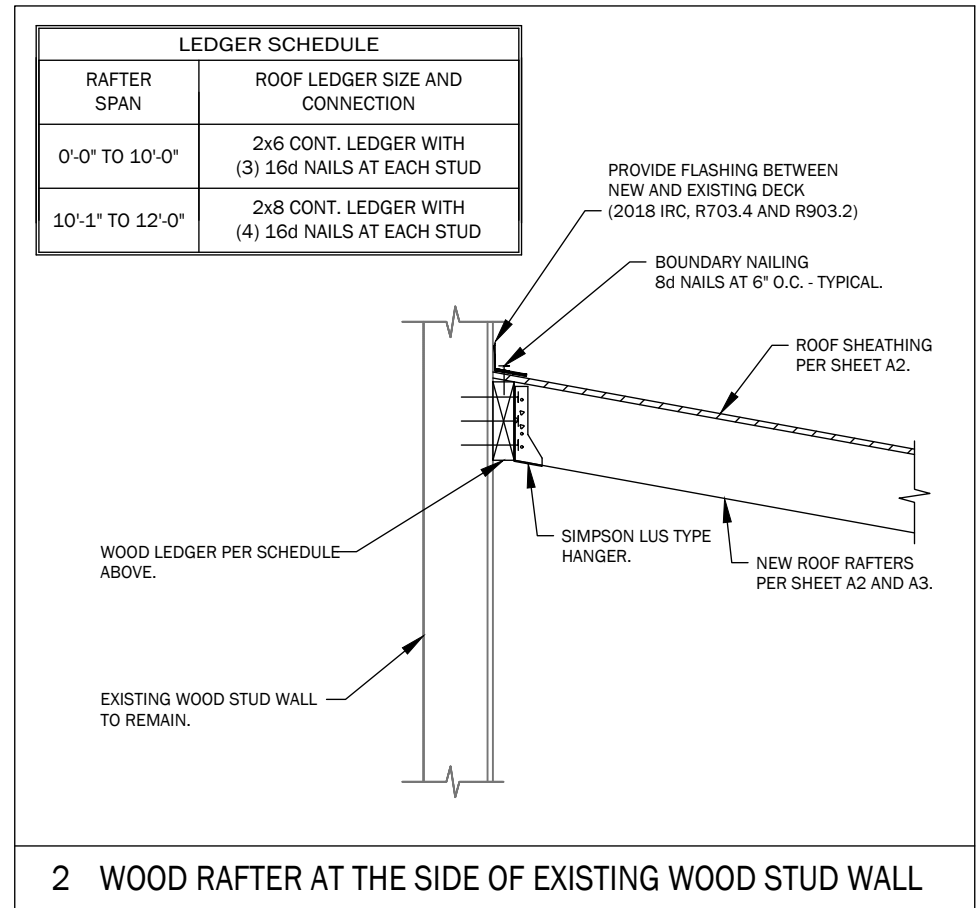
- PLEASE CHOOSE PREFERRED OPTION FOR NEW PATIO ATTACHMENT TO THE EXISTING STRUCTURE.
- ALL EXPANSION BOLTS SHALL BE 7" MIN. LONG INSTALLED INTO SOLID GROUTED CELLS FOR MASONRY WALLS.
- REFERENCED METAL CONNECTORS MAY BE REPLACED WITH ANY EQUIVALENT ALTERNATIVE.

SHEET:  
**A6**  
MASONRY WALL



1 WOOD RAFTER AT THE TOP OF EXISTING WOOD STUD WALL

CONSTRUCTION DETAIL TO BE USED



2 WOOD RAFTER AT THE SIDE OF EXISTING WOOD STUD WALL

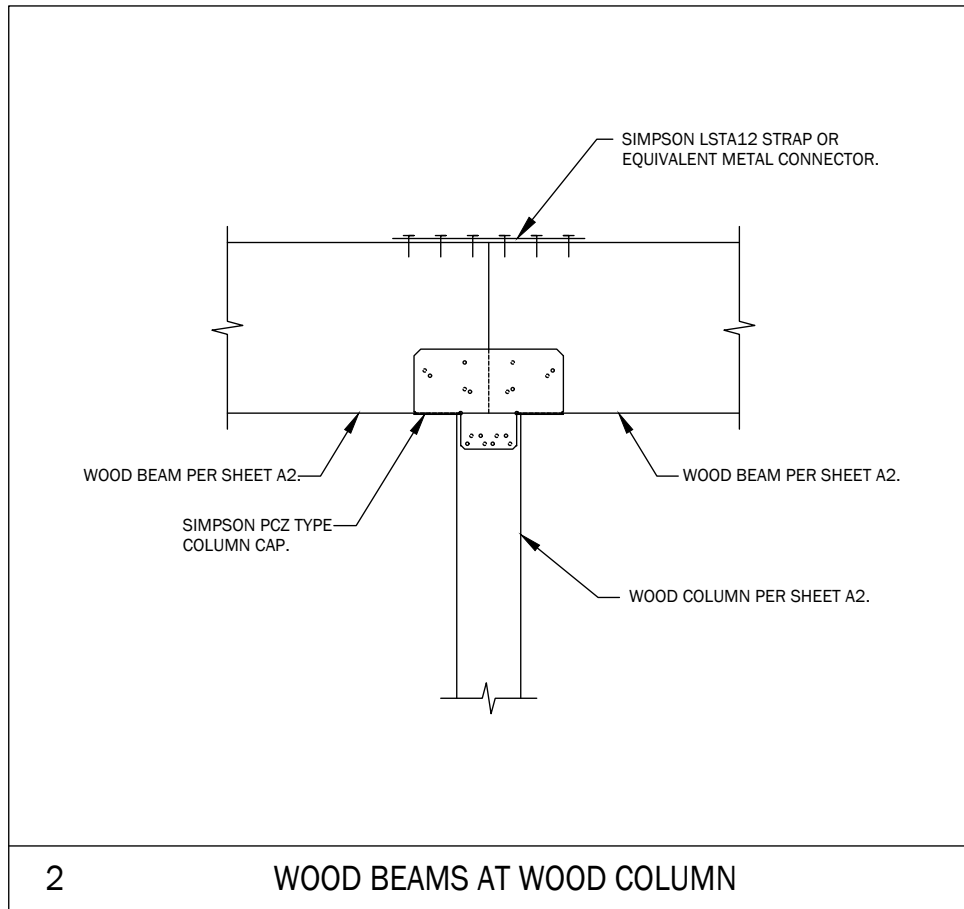
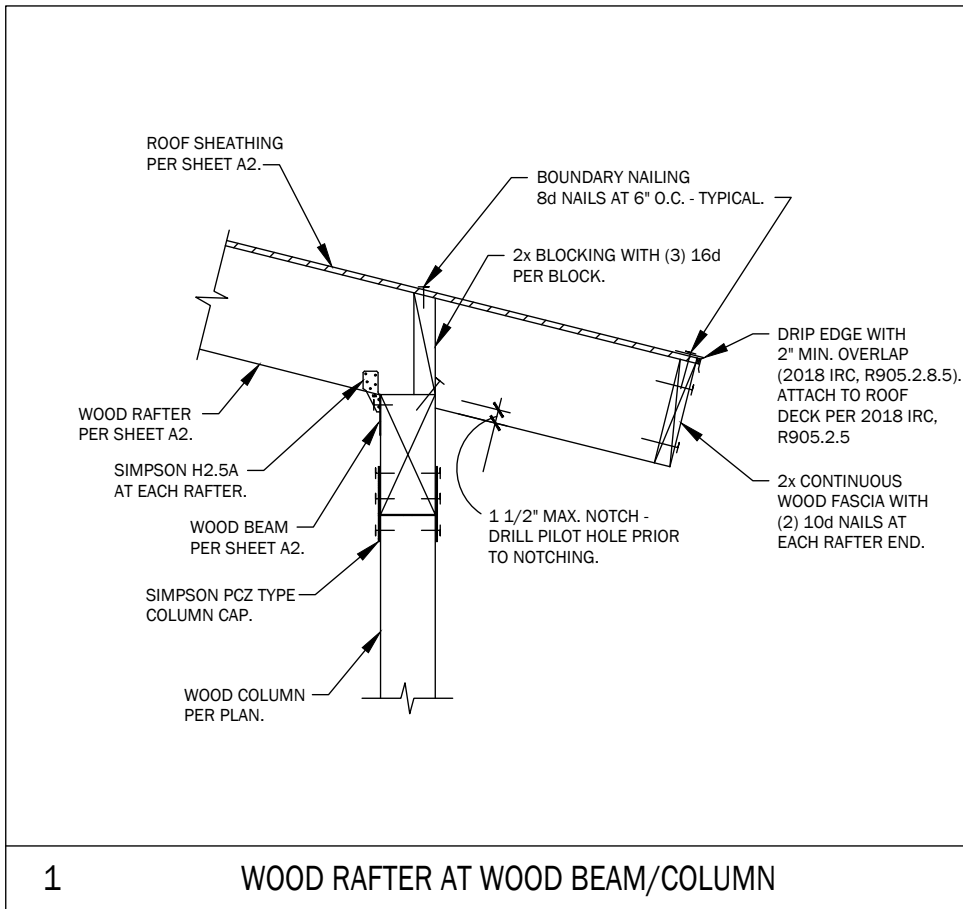
CONSTRUCTION DETAIL TO BE USED



NOTES:

- PLEASE CHOOSE PREFERRED OPTION FOR NEW PATIO ATTACHMENT TO THE EXISTING STRUCTURE.
- REFERENCED METAL CONNECTORS MAY BE REPLACED WITH ANY EQUIVALENT ALTERNATIVE.

SHEET:  
**A6**  
WOOD STUD WALL



NOTE:  
 1. REFERENCED METAL CONNECTORS MAY BE REPLACED WITH ANY EQUIVALENT ALTERNATIVE.

SHEET:  
 A7

RAFTER SCHEDULE				
RAFTER SPAN	RAFTER SPACING (CENTER TO CENTER)			
	12"	16"	19.2"	24"
8'-0"	2x4	2x4	2x4	2x4
9'-0"	2x4	2x6	2x6	2x6
10'-0"	2x6	2x6	2x6	2x6
11'-0"	2x6	2x6	2x6	2x8
12'-0"	2x6	2x6	2x8	2x8

BEAM SCHEDULE					
RAFTER SPAN	POST/COLUMN SPACING (CENTER TO CENTER)				
	8'-0"	9'-0"	10'-0"	11'-0"	12'-0"
8'-0"	4x6	4x6	4x8	4x8	4x8
9'-0"	4x6	4x6	4x8	4x8	4x8
10'-0"	4x6	4x6	4x8	4x8	4x10
11'-0"	4x6	4x8	4x8	4x10	4x10
12'-0"	4x8	4x8	4x10	4x10	4x10

ROOF SLOPES FOR ROOF COVERINGS (2018 IRC REFERENCES)			
TYPE OF ROOFING	SLOPE	TYPE OF ROOFING	SLOPE
ASPHALT SHINGLES (R905.2.2)	2:12	BUILT-UP ROOFING (R905.9.1)	0.25:12
CLAY AND CONCRETE TILE (R905.3)	2.5:12	MODIFIED BITUMEN (R905.11)	0.25:12
MINERAL-SURFACE ROLLED ROOFING (R905.5)	1:12	SPRAY POLYURETHANE FOAM (R905.14)	0.25:12
WOOD SHINGLES AND SHAKES (R905.7)	3:12	METAL ROOF SHINGLES (R905.4)	3:12

NOTES:

1. MINIMUM MEMBER SIZES SHOWN IN THESE SCHEDULES ARE FOR ROOF LOADS ONLY (NO WALKING DECK).
2. ALL WOOD MEMBERS SHALL BE GRADE MARKED HEM-FIR GRADE #2 OR BETTER.
3. THE SLOPES ABOVE ARE MINIMUM UNITS HORIZONTAL TO UNITS VERTICAL.
4. ROOF SHEATHING SHALL BE CONTINUOUS OVER 2 OR MORE RAFTERS, FACE GRAIN SHALL BE PERPENDICULAR TO SUPPORTS.
5. FRAMING HARDWARE SHALL BE ICC APPROVED FOR THE INTENDED USE AND INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
6. CONCRETE SHALL HAVE MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI AT 28 DAYS.
7. ALL WOOD IN CONTACT WITH CONCRETE/MASONRY SHALL BE PRESERVATIVE TREATED WOOD PER 2018 IRC, R317.1.2.
8. ALL PROJECTIONS (OVERHANGS) GREATER THAN 2'-0" BUT LESS THAN 5'-0" REQUIRE 1-HOUR FIRE PROTECTION ON UNDERSIDE OF ROOF RAFTERS (5/8" TYPE "X" GYPSUM BOARD MINIMUM).

